



Hyde Park, Michaelchurch Escley, Hereford, Hfds, HR2 0JY



**Sunderlands**  
Residential Rural Commercial





**Hyde Park**  
**Michaelchurch Escley**  
**Hereford**  
**Herefordshire**  
**HR2 0JY**

- A delightful, contemporary barn conversion
- Excellent equestrian facilities with a purpose-built stable block, menage and paddocks
- Set in approximately 5.4 acres
- Beautiful rural location in the Golden Valley area

**Hay-on-Wye 8 miles**  
**Hereford 15 miles**  
**Abergavenny 16 miles**

## Description

Hyde Park is a delightful and contemporary barn conversion which was completed in 2022. The property is set in approximately 5.4 acres of land with excellent equestrian provisions which include a purpose-built barn with four stables, a feed store, tack room and an all-weather ménage.

The barn itself offers beautifully presented four bed accommodation and takes full advantage of the stunning and far-reaching views.

## Location

Michaelchurch Escley is a village found approximately 8 miles from Hay-on-Wye. The village facilities include a church, village hall and a public house. Educational provision can be found at the ever-popular schools of Michaelchurch Escley Primary and Fairfield High School which is located just 3 miles away in the village of Peterchurch.

The property is found approximately equidistance from Hereford and Abergavenny, both of which offer excellent services and facilities including mainline rail connections.

Hay-on-Wye is the nearest town and is a popular tourist destination found within the Brecon Beacons National Park (Bannau Brycheniog) and within the Wye Valley.

Known as the "town of books" Hay-on-Wye is famous around the world for its Literary Festival which is held annually in May. Services in the town include two

dental surgeries, a medical practice, primary school, cinema, chemist, library, a wealth of second-hand bookshops and antique shops and an excellent and diverse market which operates every Thursday. There is a wide range of public houses, restaurants and cafes, all located close to the town centre.

## Accommodation

Entering through the front door you are greeted by a light and airy open plan kitchen, dining and lounge area with large bi-fold doors taking full advantage of the stunning view.

The kitchen is excellently equipped and offers a generous workspace with fitted wall and base units, a central island, integral appliances including a halogen hob, two ovens, dishwasher and has space for a large fridge freezer.

Adjacent to the kitchen is a utility room which is fitted with work units and a sink. There is plumbing for a washing machine and space for a tumble dryer and windows to the side and a side door leading outside. The utility room also houses the boiler.

On the ground floor there is also a snug / tv room, with double doors and picture windows providing views over the breathtaking scenery. A separate study area currently used as an office and a downstairs cloakroom.

A staircase provides access to the first-floor landing where there are four double bedrooms, the family bathroom and a walk-in airing cupboard.

The main bedroom has an ensuite shower room with walk-in waterfall shower, wash-hand basin and W.C. Three of the bedrooms have the benefit of built in wardrobes and there is also a separate storeroom accessed through bedroom two which offers potential for conversion into an additional ensuite.

The family bathroom features a deep fill bath, shower cubical, wash-hand basin and W.C.

### Outside

The property is approached from the village lane, through a set of double gates, into a generous parking and driveway area which offers ample parking for several cars. The driveway continues towards the stable block with additional space and parking for horseboxes and lorries etc.

The stable block measures 14.2m x 10.7m and contains four partitioned stables each measuring 3m x 3.67m and a separate tack room (3.06m x 3.67m). The block also has a water supply, power and lighting.

Looking out from the stable block there is a ménage (60m x 20m) with a sand and fibre surface. Further outbuildings include a mobile field shelter adjacent to the ménage and a separate garage block (5.42m x 5.17m) which is of timber construction with power, lighting and also contains the water filtration system.

The overall property extends to approximately 5.4 acres with fenced paddocks, each with their own water supply and one paddock also has an

additional mobile field shelter. There is also a small, recently planted coppice area at one end.

### Council Tax Band

Herefordshire Council Band "E".

### Tenure

Freehold with vacant possession upon completion.

### Services

We are advised that the property is connected to mains electricity, private water and private drainage. There is an LPG-fired underfloor central heating system. Please note the services and service installations have not been tested.

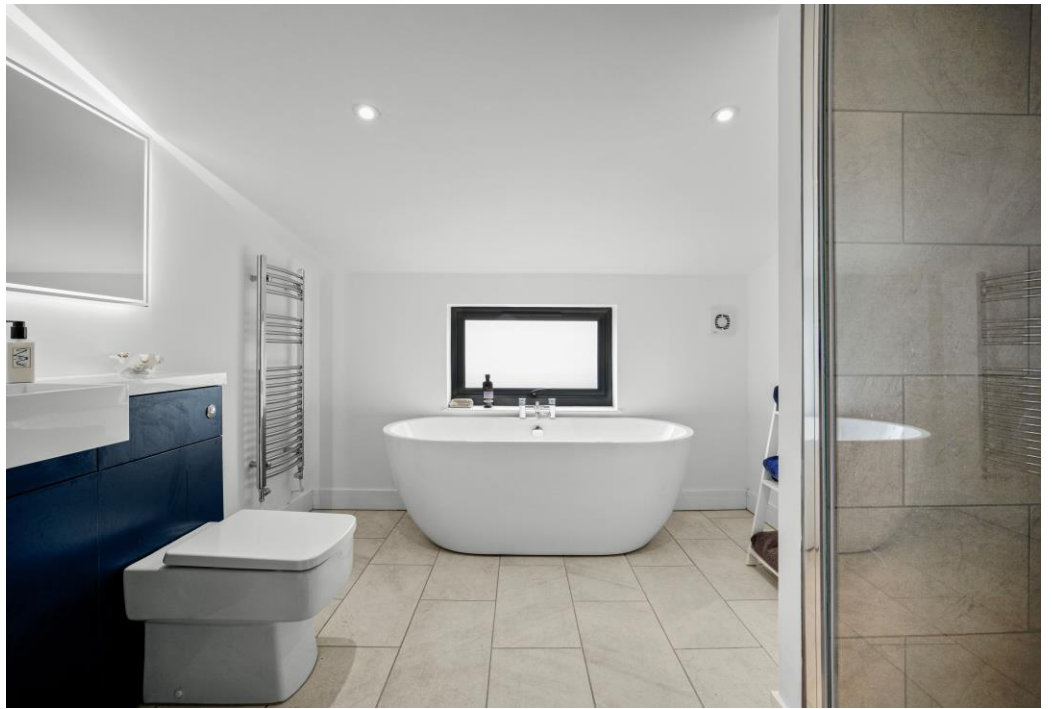
### Directions

From Hay-on-Wye take the B4348 in a north-easterly direction towards Hardwicke and then turn right continuing on the B4348 (signposted to Peterchurch). Continue through Peterchurch and just at the end of the village, at the crossroad, turn right towards Urishay. Follow this road for just over 2.6 miles then take the right turn signposted to Llanrosser and continue up this lane where the property will be found first on the right-hand side.

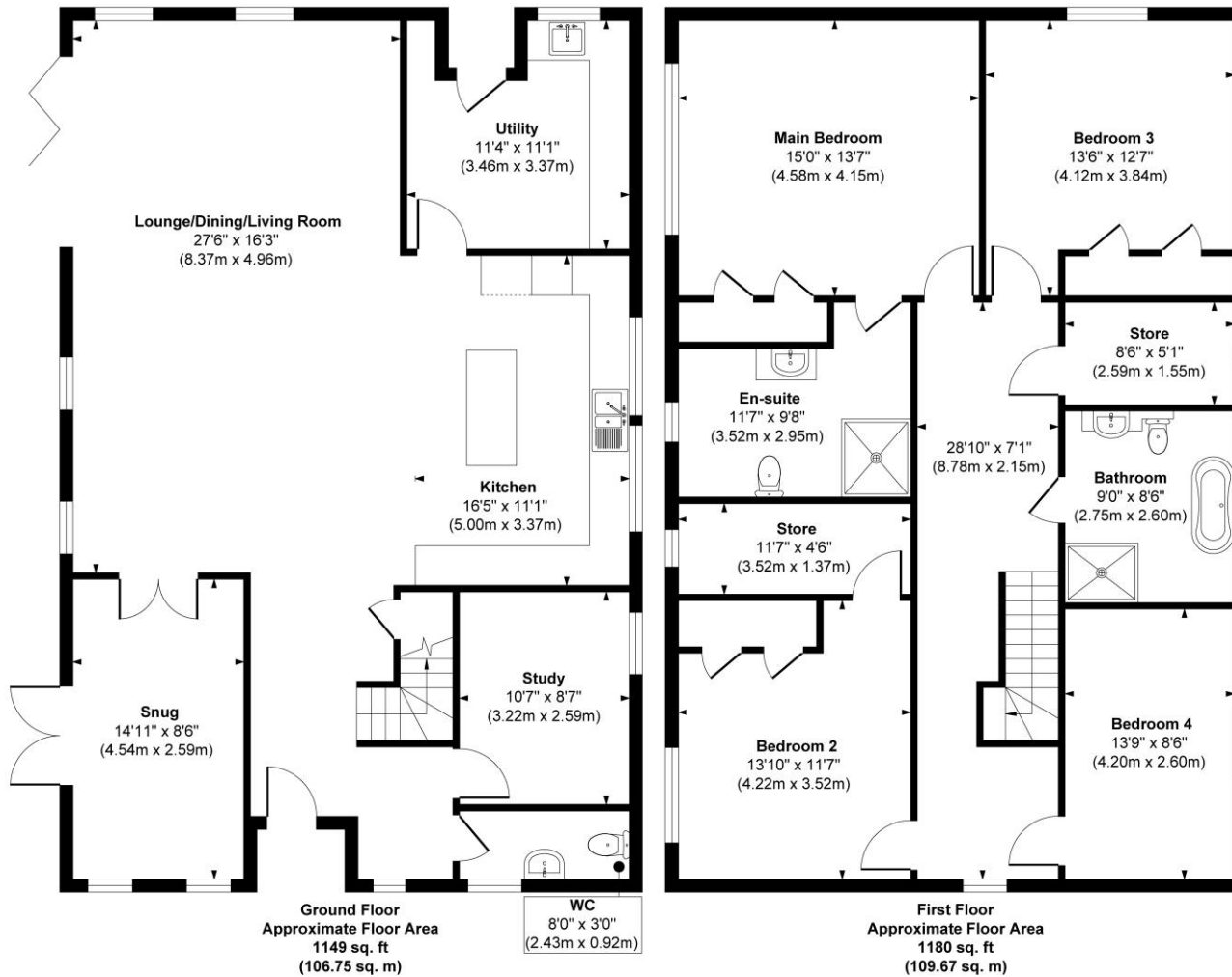
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## Hyde Park, Michaelchurch Escley, Hereford HR2 0JY



### Approx. Gross Internal Floor Area

**Main House = 2329 sq. ft / 216.42 sq. m**

FOR ILLUSTRATIVE PURPOSES ONLY, MEASUREMENTS ARE APPROXIMATE - NOT TO SCALE  
The position & size of doors, windows, appliances and other features are approximate only.

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Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92-100)	<b>A</b>		
(81-91)	<b>B</b>		85
(69-80)	<b>C</b>		69
(55-68)	<b>D</b>		
(39-54)	<b>E</b>		
(21-38)	<b>F</b>		
(1-20)	<b>G</b>		
Not energy efficient - higher running costs			
England, Scotland & Wales		EU Directive 2002/91/EC	

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### Viewing by appointment through Sunderlands

#### Hay-on-Wye Branch

3 Pavement House, The Pavement,  
Hay on Wye, Herefordshire HR3 5BU

Tel: 01497 822522

Email: hay@sunderlands.co.uk

Out of hours contact: Harry Aldrich-Blake  
07717 410757

#### Hereford Branch

Offa House, St Peters Square,  
Hereford HR1 2PQ

Tel: 01432 356161

Email: hereford@sunderlands.co.uk

[www.sunderlands.co.uk](http://www.sunderlands.co.uk)

None of these statements contained in these particulars are to be relied upon as statements or representations of fact. These particulars are not an offer or contract or part of one. Floor plans are provided for guidance as to the layout of the property only. Room sizes and measurements are approximate only. Please note we have not tested the equipment, appliances and services in the property and interested parties are advised to commission appropriate investigation before formulating their offer for purchase. Sunderland's are a member of the 'Ombudsman for Estate Agents Scheme' OEA and therefore adhere to their Code of Practice. A copy of the Code of Practice is available on request.



